

CT Property Inspections, LLC

Property Inspection Report



41 Any Name Lane, West Hartford, CT 06107
Inspection prepared for: Jim Jones & Jane Jones
Real Estate Agent: Joe Rock - XYZ Real Estate Company

Date of Inspection: 7/27/2017 Time: 8:00 am
Age of Home: 1961 Size: 160
Weather: Sunny 78 degrees

Inspector: Paul Orentas
License # 598

Email: paul.orentas@ctpropertyinspections.com



Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the issues. All repairs should be done by a licensed & bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

Kitchen		
Page 13 Item: 3	Dishwasher	<ul style="list-style-type: none"> Dishwasher was not tested at time of inspection due to incomplete installation Not connected to electrical source
Page 13 Item: 5	Garbage Disposal	<ul style="list-style-type: none"> Circuit breaker was off at time of inspection Disposal was inoperable at time of inspection.
Page 15 Item: 13	Electrical	<ul style="list-style-type: none"> Open junction box was observed below sink, which is a safety concern. Recommend installing proper covers, as needed, for safety.
Garage		
Page 23 Item: 10	Fire Door	<ul style="list-style-type: none"> Garage door is missing locking hardware
Attic		
Page 34 Item: 6	Electrical	<ul style="list-style-type: none"> Open junction boxes were observed, which is a safety concern. Recommend installing proper covers, as needed, for safety.
Foundation		
Page 37 Item: 5	Foundation Plumbing	<ul style="list-style-type: none"> Main water supply line is leaking at point of foundation, highly recommend that this be repaired by a licensed plumber.
Basement/Crawlspace		
Page 41 Item: 1	Walls	<ul style="list-style-type: none"> Water supply from street is leaking through foundation wall.
Page 41 Item: 5	Basement Electric	<ul style="list-style-type: none"> Open junction box was observed, which is a safety concern. Recommend installing proper covers, as needed, for safety.

Inspection Details

INTRODUCTION:

We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. Call us after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, we are still available to you for any questions you may have, throughout the entire closing process.

Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible portion of the structure; inspection may be limited by vegetation and possessions. Depending upon the age of the property, some items like GFCI outlets may not be installed; this report will focus on safety and function, not current code. This report identifies specific non-code, non-cosmetic concerns that the inspector feels may need further investigation or repair.

For your safety and liability purposes, we recommend that licensed contractors evaluate and repair any critical concerns and defects. Note that this report is a snapshot in time. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide.

1. Attendance

In Attendance: Client present • Buyer Agent present

2. Home Type

Home Type: Single Family Home • Ranch Style

3. Occupancy

Occupancy: Occupied - Furnished • The utilities were on at the time of inspection. • Due to hardwood floor refinishing furniture was placed in kitchen and den making certain areas of the room inaccessible.

Interior Areas

The Interior section covers areas of the house that are not considered part of the Bathrooms, Bedrooms, Kitchen or areas covered elsewhere in the report. Interior areas usually consist of hallways, foyer, and other open areas. Within these areas the inspector is performing a visual inspection and will report visible damage, wear and tear, and moisture problems if seen. Personal items in the structure may prevent the inspector from viewing all areas on the interior.

The inspector does not usually test for mold or other hazardous materials. A qualified expert should be consulted if you would like further testing.

1. Bar

Good	Fair	Poor	N/A	None
				X

2. Cabinets

Good	Fair	Poor	N/A	None
				X

3. Ceiling Fans

Good	Fair	Poor	N/A	None
				X

4. Closets

Good	Fair	Poor	N/A	None
X				

5. Door Bell

Good	Fair	Poor	N/A	None
X				

Observations:
 • Operated normally when tested.

6. Doors

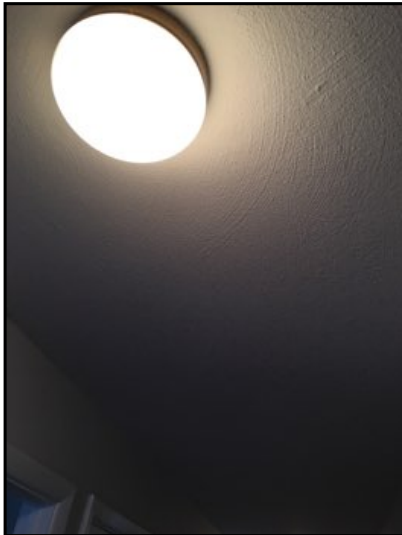
Good	Fair	Poor	N/A	None
X				

Observations:
 • Sliding doors to backyard.

7. Electrical

Good	Fair	Poor	N/A	None
X				

Observations:
 • Some outlets not accessible due to furniture and or stored personal items.
 • 2-prong outlets -
 The home contained outdated, ungrounded 2-prong electrical outlets. Although this condition may have been commonly considered safe or acceptable at the time the home was originally constructed, as general knowledge of safe building practices has improved with the passage of time, building standards have changed to reflect current understanding. Consider updating the existing condition to meet generally-accepted current standards.
 • Hallway 3-way switch not working properly, have a licensed electrician evaluate and repair.



3 way switch not working properly

8. Security Bars

Good	Fair	Poor	N/A	None
			X	

9. Smoke Detectors

Good	Fair	Poor	N/A	None
X				

Observations:
 • ****SMOKE DETECTORS****

10. Stairs & Handrail

Good	Fair	Poor	N/A	None
	X			

Observations:
 • Basement stairwell leading down - could use some additional support, but functional

11. Window-Wall AC or Heat

Good	Fair	Poor	N/A	None
			X	

Observations:
 • Did not operate the window air conditioning unit. Operation of this type of unit is beyond the scope of this inspection.

12. Ceiling Condition

Good	Fair	Poor	N/A	None
X				

Materials: There are plaster ceilings noted.

13. Patio Doors

Good	Fair	Poor	N/A	None
X				

Observations:
 • The sliding patio door was functional during the inspection.



14. Screen Doors

Good	Fair	Poor	N/A	None
	X			

Observations:
 • Tear in patio screen door

15. Wall Condition

Good	Fair	Poor	N/A	None
X				

Materials: Plaster walls noted.

16. Fireplace

Good	Fair	Poor	N/A	None
	X			

Materials: Den
 Materials: Masonry fireplace noted.

Observations:
 • Have chimneys swept by professional.
 • Level II inspection—The National Fire Protection Association (www.nfpa.org) advises that each chimney receive a Level II inspection each time a residence is sold. Inspection levels are explained at www.csia.org/pressroom/press-inspection-levels-explained.htm. It is also advised that this inspection be conducted by a chimney sweep certified by the Chimney Safety Institute of America (www.csia.org).



Leaves and debris in chimney





17. Window Condition

Good	Fair	Poor	N/A	None
X				

Materials: Vinyl framed double hung window noted. • Wood framed double hung window noted.

Observations:

- Missing screens observed at living room windows.



Bedrooms

The main area of inspection in the bedrooms is the structural system. This means that all walls, ceilings and floors will be inspected. Doors and windows will also be investigated for damage and normal operation. Personal items in the bedroom may prevent all areas to be inspected as the inspector will not move personal items.

1. Cabinets

Good	Fair	Poor	N/A	None
			X	

2. Ceiling Fans

Good	Fair	Poor	N/A	None
				X

3. Closets

Good	Fair	Poor	N/A	None
X				

4. Doors

Good	Fair	Poor	N/A	None
X				

5. Electrical

Good	Fair	Poor	N/A	None
X				

Observations:

- 2-prong outlets -

The home contained outdated, ungrounded 2-prong electrical outlets. Although this condition may have been commonly considered safe or acceptable at the time the home was originally constructed, as general knowledge of safe building practices has improved with the passage of time, building standards have changed to reflect current understanding. Consider updating the existing condition to meet generally-accepted current standards.

- Recommend full review by qualified electrical contractor for quotes on upgrades/repair to ensure safe and adequate service.
- Reversed polarity, hot and neutral reversed and other terms used for electric receptacles are usually easily corrected by minor wiring adjustments at the specified item. When these conditions are noted in this report, a licensed electrician should be consulted for repairs/replacement as needed to ensure safety.



Reverse Polarity

6. Fireplace

Good	Fair	Poor	N/A	None
				X

Observations:

- Level II inspection—The National Fire Protection Association (www.nfpa.org) advises that each chimney receive a Level II inspection each time a residence is sold. Inspection levels are explained at www.csia.org/pressroom/press-inspection-levels-explained.htm. It is also advised that this inspection be conducted by a chimney sweep certified by the Chimney Safety Institute of America (www.csia.org).
- Have a fireplace professional evaluate and repair any issues found before attempting to use fireplace.

7. Floor Condition

Good	Fair	Poor	N/A	None
X				

Flooring Types: Hardwood flooring is noted.

8. Smoke Detectors

Good	Fair	Poor	N/A	None
X				

Observations:

- Smoke detectors were present in each bedroom and hallway. Remember to check detectors regularly, and replace when needed according to manufactures and fire safety guidelines.

9. Wall Condition

Good	Fair	Poor	N/A	None
X				

Materials: Plaster walls noted.

10. Window-Wall AC or Heat

Good	Fair	Poor	N/A	None
			X	

Observations:

- Did not operate the window air conditioning unit. Operation of this type of unit is beyond the scope of this inspection.

11. Window Condition

Good	Fair	Poor	N/A	None
X				

Materials: Vinyl framed double hung window noted.

Bathroom

Bathrooms can consist of many features from jacuzzi tubs and showers to toilets and bidets. Because of all the plumbing involved it is an important area of the house to look over. Moisture in the air and leaks can cause mildew, wallpaper and paint to peel, and other problems. The home inspector will identify as many issues as possible but some problems may be undetectable due to problems within the walls or under the flooring..

1. Locations

Locations: Master Bathroom • Main Floor Bathroom

2. Cabinets

Good	Fair	Poor	N/A	None
X				

Observations:
• No deficiencies observed.

3. Ceiling Condition

Good	Fair	Poor	N/A	None
X				

Materials: There are plaster ceilings noted.

4. Counters

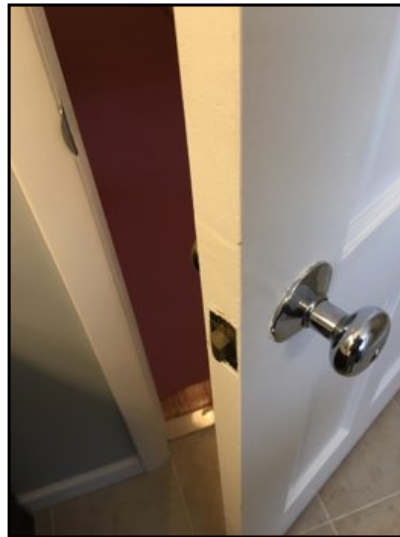
Good	Fair	Poor	N/A	None
X				

Observations:
• Solid Surface tops noted.

5. Doors

Good	Fair	Poor	N/A	None
	X			

Observations:
• Door doesn't latch properly.



6. Electrical

Good	Fair	Poor	N/A	None
X				

Observations:
• No major system safety or function concerns noted at time of inspection.

7. GFCI

Good	Fair	Poor	N/A	None
X				

Observations:
• **GFCI** tested and functioned properly.



8. Exhaust Fan

Good	Fair	Poor	N/A	None
	X			

Observations:

- Master bath exhaust fan does not appear to vent properly
- Improve: There are no exhaust fans hall bath

9. Floor Condition

Good	Fair	Poor	N/A	None
X				

Materials: Ceramic tile is noted.

10. Heating

Good	Fair	Poor	N/A	None
			X	

11. Mirrors

Good	Fair	Poor	N/A	None
X				

12. Plumbing

Good	Fair	Poor	N/A	None
X				

13. Security Bars

Good	Fair	Poor	N/A	None
				X

14. Showers

Good	Fair	Poor	N/A	None
X				

Observations:

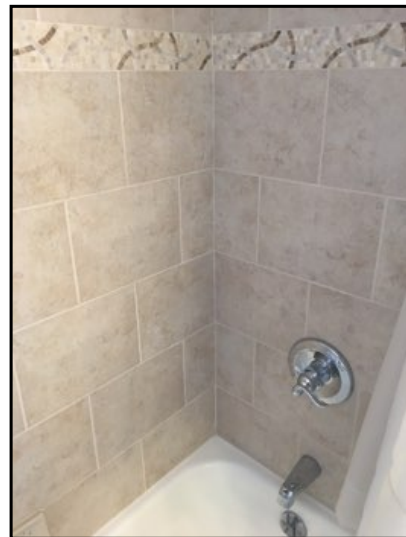
- functional



15. Shower Walls

Good	Fair	Poor	N/A	None
X				

Observations:
 • ****MATERIALS****
 • Ceramic tile noted.



16. Bath Tubs

Good	Fair	Poor	N/A	None
X				

17. Enclosure

Good	Fair	Poor	N/A	None
			X	

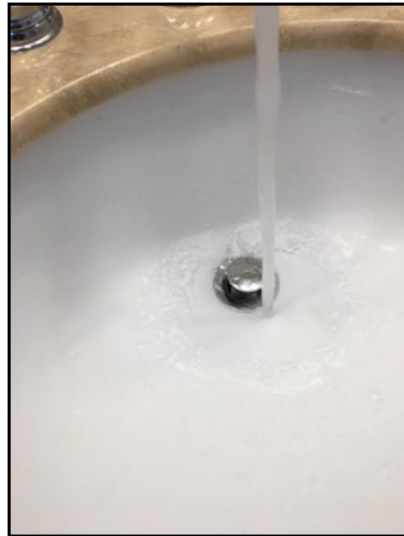
18. Sinks

Good	Fair	Poor	N/A	None
X				

Observations:
 • Stopper is missing/inoperable.



Stopper not working properly



19. Toilets

Good	Fair	Poor	N/A	None
X				

Observations:

- Operated when tested. No deficiencies noted.
- Observed as functional and in good visual condition.

20. Window Condition

Good	Fair	Poor	N/A	None
X				

Materials: Vinyl framed double hung window noted.

Kitchen

The kitchen is used for food preparation and often for entertainment. Kitchens typically include a stove, dishwasher, sink and other appliances.

1. Cabinets

Good	Fair	Poor	N/A	None
X				

Observations:
 • No deficiencies observed.

2. Counters

Good	Fair	Poor	N/A	None
X				

Observations:
 • Solid Surface tops noted.

3. Dishwasher

Good	Fair	Poor	N/A	None
			X	

Observations:
 • Dishwasher was not tested at time of inspection due to incomplete installation
 • Not connected to electrical source

4. Doors

Good	Fair	Poor	N/A	None
				X

5. Garbage Disposal

Good	Fair	Poor	N/A	None
			X	

Observations:
 • Circuit breaker was off at time of inspection
 • Disposal was inoperable at time of inspection.

6. Microwave

Good	Fair	Poor	N/A	None
X				

Observations:
 • Built-in microwave ovens are tested using normal operating controls. Unit was tested and functioned properly at time of inspection. Leak and/or efficiency testing is beyond the scope of this inspection. If concerned, client should seek further review by qualified technician prior to closing.



7. Oven & Range

Good	Fair	Poor	N/A	None
X				

Observations:

- Oven(s): Electric
- All heating elements operated when tested.
- The upper and lower electric oven elements were tested at the time of inspection and appeared to function properly. These can fail at anytime without warning. No warranty, guarantee, or certification is given as to future failures.



8. Sinks

Good	Fair	Poor	N/A	None
X				



9. Vent Condition

Good	Fair	Poor	N/A	None
X				

Materials: Recirculating

10. Window Condition

Good	Fair	Poor	N/A	None
X				

Materials: Vinyl framed double hung window noted.

11. Floor Condition

Good	Fair	Poor	N/A	None
X				

Materials: Ceramic tile is noted.

12. Plumbing

Good	Fair	Poor	N/A	None
X				

13. Electrical

Good	Fair	Poor	N/A	None
X				

Observations:

- Open junction box was observed below sink, which is a safety concern. Recommend installing proper covers, as needed, for safety.

14. GFCI

Good	Fair	Poor	N/A	None
X				

Observations:

- GFCI in place and operational.

15. Wall Condition

Good	Fair	Poor	N/A	None
X				

Materials: Plaster walls noted.

Laundry

1. Locations

Locations: Basement

2. Dryer Vent

Good	Fair	Poor	N/A	None
X				



3. Electrical

Good	Fair	Poor	N/A	None
X				

4. GFCI

Good	Fair	Poor	N/A	None
X				

5. Exhaust Fan

Good	Fair	Poor	N/A	None

Observations:
 • None present.

6. Floor Condition

Good	Fair	Poor	N/A	None
X				

Materials: Bare concrete floors noted.

7. Plumbing

Good	Fair	Poor	N/A	None
X				

8. Wall Condition

Good	Fair	Poor	N/A	None
				X

Heat/AC

The heating, ventilation, and air conditioning and cooling system (often referred to as HVAC) is the climate control system for the structure. The goal of these systems is to keep the occupants at a comfortable level while maintaining indoor air quality, ventilation while keeping maintenance costs at a minimum. The HVAC system is usually powered by electricity and natural gas, but can also be powered by other sources such as butane, oil, propane, solar panels, or wood.

The inspector will usually test the heating and air conditioner using the thermostat or other controls. For a more thorough investigation of the system please contact a licensed HVAC service person.

1. Heater Condition

Good	Fair	Poor	N/A	None
X				

Materials: 2006 Peerless Oil Boiler



2. Enclosure

Good	Fair	Poor	N/A	None
X				

Observations:

- Suggest having this unit professionally cleaned and tuned to ensure proper and safe operation.

3. Venting

Good	Fair	Poor	N/A	None
X				

Observations:

- Metal single wall chimney vent pipe noted.
- The visible portions of the vent pipes appeared functional.

4. Thermostats

Good	Fair	Poor	N/A	None
X				

Observations:

- Functional at the time of inspection.

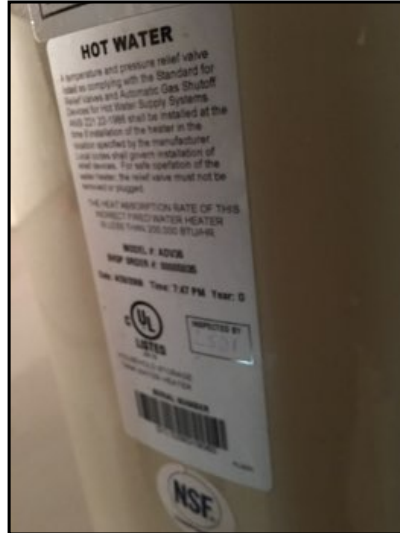
Water Heater

1. Heater Enclosure

Good	Fair	Poor	N/A	None
X				

Observations:

- The water heater enclosure is functional.
- Year: 2008



2. Combustion

Good	Fair	Poor	N/A	None
			X	

3. Venting

Good	Fair	Poor	N/A	None
			X	

4. Water Heater Condition

Good	Fair	Poor	N/A	None
X				

Heater Type: Indirect water heater

Location: The heater is located in the basement.

Observations:

- Tank appears to be in satisfactory condition -- no concerns.
- No major system safety or function concerns noted at time of inspection.
- A Temperature Pressure Relief (TPR) valve present. This safety valve releases water (and thus relieves pressure) if either the temp or pressure in the tank gets too high. The **TPR valve** discharge tube must be made of copper, iron, or CPVC (NOT regular **PVC**). It must terminate within 6" above the floor--the end cannot be threaded or have a fitting.

5. TPRV

Good	Fair	Poor	N/A	None
X				

Observations:

- Appears to be in satisfactory condition -- no concerns.

6. Number Of Gallons

Good	Fair	Poor	N/A	None
X				

Observations:

- 40 gallons

7. Plumbing

Good	Fair	Poor	N/A	None
X				

Materials: Copper

Observations:

- No deficiencies observed at the visible portions of the supply piping.

8. Overflow Condition

Good	Fair	Poor	N/A	None
X				

Materials: Copper

Observations:

- Appears to be in satisfactory condition -- no concerns.

9. Strapping

Good	Fair	Poor	N/A	None
				X

Observations:

- The water heater is not strapped.

Garage

1. Roof Condition

Good	Fair	Poor	N/A	None
			X	

Materials: Roofing is the same as main structure.
 Materials: Asphalt shingles noted.
 Observations:
 • Snow covered - unable to fully inspect

2. Walls

Good	Fair	Poor	N/A	None
X				

Observations:
 • Appeared satisfactory at time of inspection.

3. Anchor Bolts

Good	Fair	Poor	N/A	None
			X	

4. Floor Condition

Good	Fair	Poor	N/A	None
X				

Materials: Bare concrete floors noted.
 Observations:
 • Common cracks noted.



5. Rafters & Ceiling

Good	Fair	Poor	N/A	None
X				

Observations:
 • Rafter construction noted.
 • Wood joists noted.

6. Electrical

Good	Fair	Poor	N/A	None



7. GFCI

Good	Fair	Poor	N/A	None
	X			

Observations:

- No GFCI protection present, suggest installing GFCI protected receptacles for safety.

8. 240 Volt

Good	Fair	Poor	N/A	None
			X	

9. Exterior Door

Good	Fair	Poor	N/A	None
	X			

Observations:

- Rot at lower sections of door frame



10. Fire Door

Good	Fair	Poor	N/A	None
	X			

Observations:

- Garage-house door does not close automatically. This is to act as a fire stop, and keeps exhaust fumes out.
- Garage door is missing locking hardware



Step is unstable leading from garage to interior

11. Garage Door Condition

Good	Fair	Poor	N/A	None
X				

Materials: One 16' upgraded insulated steel door • Roll-up door noted.
 Observations:
 • No deficiencies observed.



12. Garage Door Parts

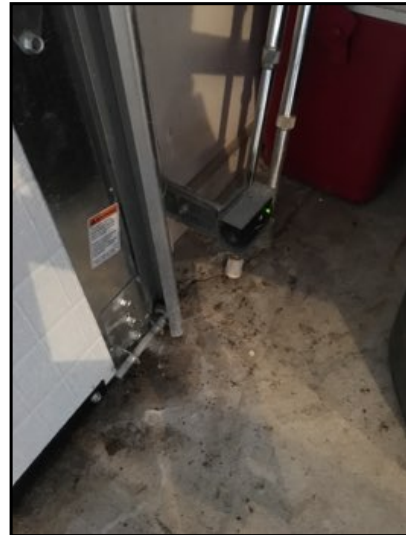
Good	Fair	Poor	N/A	None
X				

Observations:
 • The garage door appeared functional during the inspection.

13. Garage Opener Status

Good	Fair	Poor	N/A	None
X				

Observations:
 • The garage door opener is functional, safety features are built in.



14. Garage Door's Reverse Status

Good	Fair	Poor	N/A	None
X				

15. Ventilation

Good	Fair	Poor	N/A	None
X				

Observations:
 • Gable louver vents noted.

16. Vent Screens

Good	Fair	Poor	N/A	None
X				

Observations:
 • Vent screens noted as functional.

17. Cabinets

Good	Fair	Poor	N/A	None
			X	

18. Counters

Good	Fair	Poor	N/A	None
			X	

Electrical

This report describes the amperage and voltage rating of the service, the location of the main disconnect and any sub panel(s), the presence of solid conductor aluminum branch circuit wiring, the presence or absence of smoke detectors and wiring methods. Inspectors are required to inspect the viewable portions of the service drop from the utility to the house, the service entrance conductors, cables and raceways, the service equipment and main disconnects, the service grounding, the interior components of the service panels and sub panels, the conductors, the over-current protection devices (fuses or breakers), ground fault circuit interrupters and a representative number of installed lighting fixtures, switches and receptacles. All issues or concerns listed in this Electrical section should be construed as current and a potential personal safety or fire hazard. Repairs should be a priority, and should be made by a qualified, licensed electrician.

1. Electrical Panel

Good	Fair	Poor	N/A	None
X				

Location: Service panel located in basement • Disconnect box located in garage

Observations:

- No major system safety or function concerns noted at time of inspection at main panel box.



2. Main Amp Breaker

Good	Fair	Poor	N/A	None
X				

Observations:

- 100 amp

3. Breakers in off position

Good	Fair	Poor	N/A	None
X				

Observations:

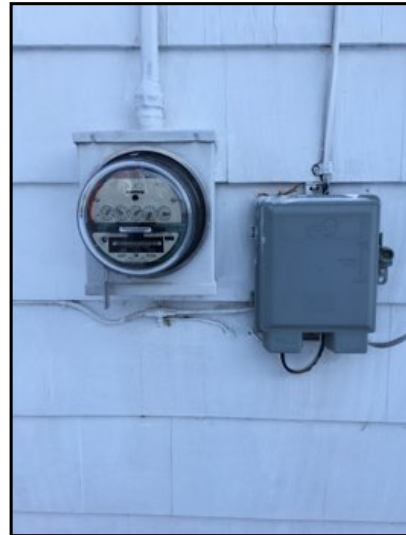
- 1

4. Cable Feeds

Good	Fair	Poor	N/A	None
X				

Observations:

- There is an overhead service drop noted.



5. Breakers

Good	Fair	Poor	N/A	None
X				

6. Fuses

Good	Fair	Poor	N/A	None
			X	

Roof

As with all areas of the house, we recommend that you carefully examine the roof immediately prior to closing the deal. Note that walking on a roof voids some manufacturer's warranties. Adequate attic ventilation, solar / wind exposure, and organic debris all affect the life expectancy of a roof. Always ask the seller about the age and history of the roof. On any home that is over 3 years old, experts recommend that you obtain a roof certification from an established local roofing company to determine its serviceability and the number of layers on the roof. We certainly recommend this for any roof over 5 years of age. Metal roofs in snow areas often do not have gutters and downspouts, as there is a concern that snow or ice cascading off the roof may tear gutters from the house. Likewise, be advised that such cascading may cause personal injury or even death. If this house has a metal roof, consult with qualified roofers or contractors regarding the advisability of installing a damming feature which may limit the size and amount of snow / ice sliding from the roof.

1. Roof Condition

Good	Fair	Poor	N/A	None
			X	

Materials: Inspected from ladder. • Limited inspection, the roof covered with ice and snow at the time of inspection. Recommend referring to the Seller Disclosure Statement regarding the condition of the roof.

Materials: Asphalt shingles noted.



2. Flashing

Good	Fair	Poor	N/A	None
			X	

Observations:

- Limited view of flashing due to snow cover

3. Chimney

Good	Fair	Poor	N/A	None
X				

Observations:

- No chimney cap visible from inspection level. Recommend installation to prevent premature weathering, water intrusion, and nesting of wildlife.
- Chimney clean-out door located in basement will not close, recommend for this to be repaired.



Clean out door will not stay closed

4. Sky Lights

Good	Fair	Poor	N/A	None
				X

5. Spark Arrestor

Good	Fair	Poor	N/A	None
			X	

Observations:

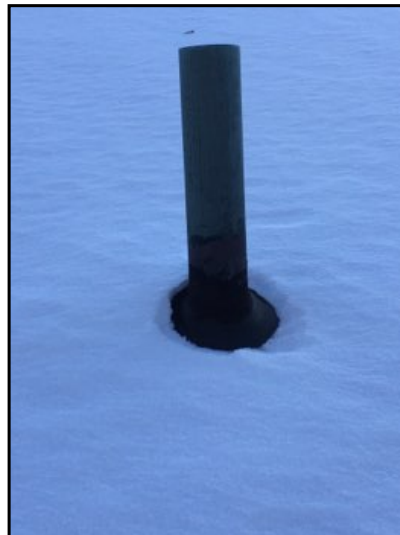
- Spark Arrestor screen appears to be missing; this acts to prevent sparks from escaping and to prevent stop animals/birds from entering chimney. Recommend evaluation by chimney sweep when wood stoves are checked.

6. Vent Caps

Good	Fair	Poor	N/A	None
X				

Observations:

- The vent cap is missing. We recommend replacing the vent cap.



7. Gutter

Good	Fair	Poor	N/A	None
X				

Observations:

- Extensions / Splash blocks missing or insufficient: Install to divert water away from the foundation.
- Maintenance Tip: Keep gutters cleared of organic debris to prevent downspouts from being clogged causing overflow at gutters, ensure that all downspouts have extensions/splash blocks to carry water away from the foundation and ensure that sprinkler system does not spray siding or windows of house.
- Some downspouts are falling from gutter and some may be too close to ground. Suggest raising downspouts 6-8" above grade





Attic

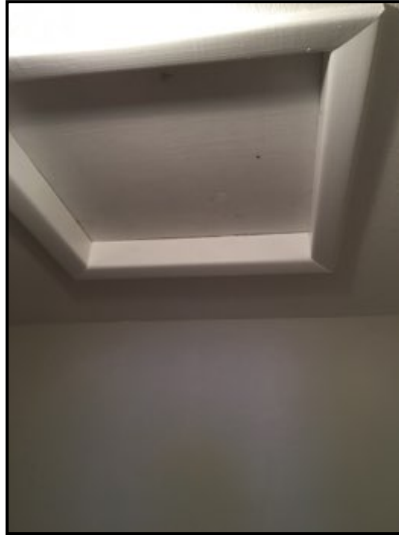
This report describes the method used to inspect any accessible attics; and describes the insulation and vapor retarders used in unfinished spaces when readily accessible and the absence of insulation in unfinished spaces at conditioned surfaces. Inspectors are required to inspect insulation and vapor retarders in unfinished spaces when accessible and passive/mechanical ventilation of attic areas, if present.

1. Access

Good	Fair	Poor	N/A	None
X				

Observations:

- Pull Down Ladder located in garage ceiling
- Scuttle Hole located in bedroom closet

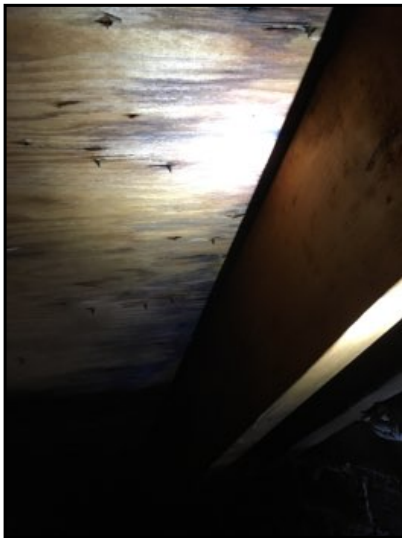


2. Structure

Good	Fair	Poor	N/A	None
X				

Observations:

- Evidence of past or present leaks, dry at time of the inspection. Monitor for leaks &/or have roofing contractor evaluate.



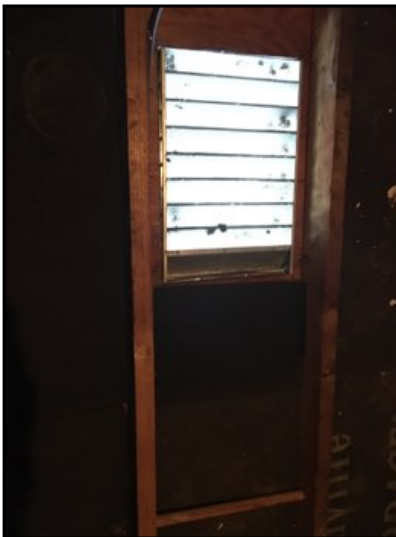


3. Ventilation

Good	Fair	Poor	N/A	None
X				

Observations:

- Gable louver vents noted.



4. Vent Screens

Good	Fair	Poor	N/A	None
X				

Observations:

- Vent screens noted as functional.



5. Duct Work

Good	Fair	Poor	N/A	None
			X	

6. Electrical

Good	Fair	Poor	N/A	None
	X			

Observations:

- Open junction boxes were observed, which is a safety concern. Recommend installing proper covers, as needed, for safety.



7. Attic Plumbing

Good	Fair	Poor	N/A	None
X				

Observations:

- Copper plumbing vent piping

8. Insulation Condition

Good	Fair	Poor	N/A	None
X				

Materials: Fiberglass batts with kraft paper facing noted.

Depth: Insulation averages 3 to 4 inches. Recommend installing more.

Observations:

- Insulation that is settled does not perform to the R-Value that it once did.



9. Chimney

Good	Fair	Poor	N/A	None
X				

Observations:

- Masonry intact where visible.
- No way to determine presence of liner due to poor visual accessibility. Further investigation required.

10. Exhaust Vent

Good	Fair	Poor	N/A	None
	X			

Observations:

- Exhaust fan duct appears to terminate in attic.
- Recommend having duct routed to exterior to minimize moisture and possible development of mold.

Exterior Areas

1. Doors

Good	Fair	Poor	N/A	None
X				

Observations:

- Wood deterioration observed. Suggest repairs/replacement as needed.

2. Window Condition

Good	Fair	Poor	N/A	None
X				

Observations:

- No major system safety or function concerns noted at time of inspection.
- Components appeared in satisfactory condition at time of inspection.
- Window screens missing in the living room windows



3. Siding Condition

Good	Fair	Poor	N/A	None
X				

Materials: Wood siding, Brick, wood frame construction, concrete foundation

Observations:

- Trim areas need minor prep, priming and painting
- Some wood deterioration noted. Have repaired as necessary.

4. Eaves & Fascia

Good	Fair	Poor	N/A	None
X				

Observations:

- Soffits at the home appeared to be in serviceable condition at the time of the inspection.

5. Exterior Paint

Good	Fair	Poor	N/A	None
X				

Observations:

- Suggest caulking around doors and windows as necessary.
- All exterior painted wood trim surfaces should be annually examined and sealed, re-caulked and re-painted as needed.

6. Stucco

Good	Fair	Poor	N/A	None
			X	

Foundation

This report describes the foundation, floor, wall, ceiling and roof structures and the method used to inspect any accessible under floor crawlspace areas. Inspectors inspect and probe the structural components of the home, including the foundation and framing, where deterioration is suspected or where clear indications of possible deterioration exist. Probing is not done when doing so will damage finished surfaces or when no deterioration is visible or presumed to exist. Inspectors are not required to offer an opinion as to the structural adequacy of any structural systems or components or provide architectural services or an engineering or structural analysis of any kind. Despite all efforts, it is impossible for a home inspection to provide any guaranty that the foundation, and the overall structure and structural elements of the building is sound.

1. Slab Foundation

Good	Fair	Poor	N/A	None
X				

Observations:

- Basement windows have been removed and filled with cement.



2. Foundation Perimeter

Good	Fair	Poor	N/A	None
X				

Observations:

- No deficiencies were observed at the visible portions of the structural components of the home.

3. Foundation Walls

Good	Fair	Poor	N/A	None
X				

Observations:

- Basement windows have been removed and filled with cement

4. Ventilation

Good	Fair	Poor	N/A	None
X				

Observations:

- High efficiency dehumidifier installed vented to outside

5. Foundation Plumbing

Good	Fair	Poor	N/A	None
	X			

Observations:

- Water shut off location shown to client in the event of an emergency.
- Main water supply line is leaking at point of foundation, highly recommend that this be repaired by a licensed plumber.

6. Ducting

Good	Fair	Poor	N/A	None
			X	

Grounds

Inspectors shall inspect adjacent or entryway walkways, patios, and driveways; vegetation, grading, surface drainage, and retaining walls that are likely to adversely affect the building.

1. Driveway and Walkway Condition

Good	Fair	Poor	N/A	None
			X	

Materials: Asphalt driveway noted.
 Observations:
 • Snow covered; not fully inspected.

2. Grading

Good	Fair	Poor	N/A	None
X				

Observations:
 • No major system safety or function concerns noted at time of inspection.

3. Vegetation Observations

Good	Fair	Poor	N/A	None
X				

Observations:
 • No major system safety or functional concerns noted at time of inspection.

4. Stairs & Handrail

Good	Fair	Poor	N/A	None
	X			

Observations:
 • Railings leading out from patio door are slightly loose



5. GFCI

Good	Fair	Poor	N/A	None
		X		

Observations:
 • No Ground Fault Circuit Interrupter (GFCI) protection of home electrical outlets was provided in the home at the time of inspection. Although GFCI protection may not have been required at the time the home was built, for safety reasons, consider upgrading the electrical system to include GFCI protection at the following locations:
 •Bathrooms
 •Outside
 •Garages
 •Crawlspace (at or below grade)
 •Unfinished basements
 •Kitchens
 •Laundry rooms
 •Within 6 feet of all plumbing fixtures



6. Plumbing

Good	Fair	Poor	N/A	None
X				

Materials: Galvanized piping noted.



7. Water Pressure

Good	Fair	Poor	N/A	None
			X	

Observations:
• Too cold to turn water on

8. Pressure Regulator

Good	Fair	Poor	N/A	None
			X	

9. Exterior Faucet Condition

Good	Fair	Poor	N/A	None
			X	

Location: Back of structure
Observations:
• Too cold to test

Basement/Crawlspace

1. Walls

Good	Fair	Poor	N/A	None
	X			

Materials: Unfinished basement

Observations:

- Walls have been recently painted.
- Recommend review by a qualified professional for repair or replacement as necessary.
- **Water supply from street is leaking through foundation wall.**

2. Insulation

Good	Fair	Poor	N/A	None
				X

Observations:

- Recommend adding insulation to perimeter of structure to enhance the homes heating efficiency.

3. Windows

Good	Fair	Poor	N/A	None
				X

4. Plumbing Materials

Good	Fair	Poor	N/A	None
	X			

Materials: Evidence of leakage detected and requires review and repair by a qualified plumbing contractor.

Observations:

- Galvanized



5. Basement Electric

Good	Fair	Poor	N/A	None
	X			

Observations:

- **Open junction box was observed, which is a safety concern. Recommend installing proper covers, as needed, for safety.**



Missing cover

6. GFCI

Good	Fair	Poor	N/A	None
X				

7. Access

Good	Fair	Poor	N/A	None
	X			

Materials: Exterior bulkhead had signs of previous repair, suggest monitoring after rain events.

Observations:

- Exterior entrance is in serviceable condition.
- Bulk head has a hole, refer to picture. Was covered with utility tape.



8. Stairs

Good	Fair	Poor	N/A	None
	X			

Observations:

- Recommend adding support to stairs stringers due to excess flexing noted at time of inspection.

9. Railings

Good	Fair	Poor	N/A	None
	X			

10. Slab Floor

Good	Fair	Poor	N/A	None
X				

- Observations:
- Common cracks noted.
 - Floor has been painted.



11. Finished Floor

Good	Fair	Poor	N/A	None
X				

- Observations:
- Unfinished (laundry/ utility room) area floor is painted with what appears top be an epoxy floor coating.

12. Framing

Good	Fair	Poor	N/A	None
X				

- Observations:
- Signs of previous water penetration



13. Subfloor

Good	Fair	Poor	N/A	None
			X	

Glossary

Term	Definition
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.
PVC	Polyvinyl chloride, which is used in the manufacture of white plastic pipe typically used for water supply lines.
TPR Valve	The thermostat in a water heater shuts off the heating source when the set temperature is reached. If the thermostat fails, the water heater could have a continuous rise in temperature and pressure (from expansion of the water). The temperature and pressure could continue to rise until the pressure exceeds the pressure capacity of the tank (300 psi). If this should happen, the super-heated water would boil and expand with explosive force, and the tank would burst. The super-heated water turns to steam and turns the water heater into an unguided missile. To prevent these catastrophic failures, water heaters are required to be protected for both excess temperature and pressure. Usually, the means of protection is a combination temperature- and pressure-relief valve (variously abbreviated as T&P, TPV, TPR, etc.). Most of these devices are set to operate at a water temperature above 200° F and/or a pressure above 150 psi. Do not attempt to test the TPR valve yourself! Most water heating systems should be serviced once a year as a part of an annual preventive maintenance inspection by a professional heating and cooling contractor. From Plumbing: Water Heater TPR Valves

Thank you

for choosing

CT Property Inspections, LLC



CT PROPERTY
— INSPECTIONS LLC —

860-550-2889